

# NEW CONSTRUCTION SUPPLEMENT



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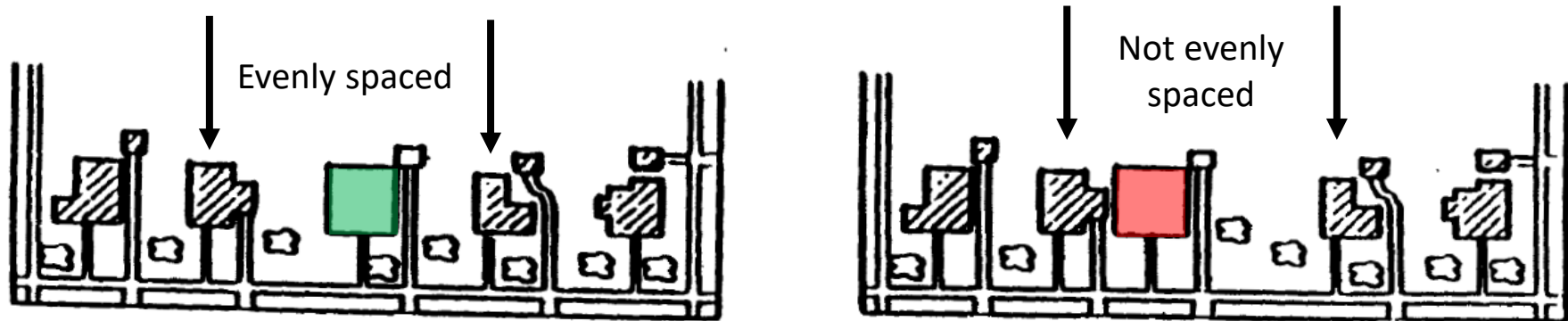
# New Construction Ordinance Code Criteria

## Section 307.106(m)

- 1) **Height.** The height of any proposed alteration or construction shall be compatible with the style and character of the landmark and with surrounding structures in an historic district.
- 2) **Proportions of windows and doors.** The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the landmark and with surrounding structures in an historic district.
- 3) **Relationship of building masses, setbacks and spaces.** The relationship of a structure within an historic district to the open space between it and adjoining structures shall be compatible.
- 4) **Roof Shape.** The design of the roof shall be compatible with the architectural style and character of the landmark and surrounding structures in an historic district.
- 5) **Landscaping.** Landscaping shall be compatible with the architectural character and appearance of the landmark and of surrounding structures and landscapes in an historic district.
- 6) **Scale.** The scale of the structure after alteration, construction, or partial demolition shall be compatible with its architectural style and character and with surrounding structures in an historic district.
- 7) **Directional Expression.** Facades in historic districts shall blend with other structures with regard to directional expression. Structures in an historic district shall be compatible with the dominant horizontal or vertical expression of surrounding structures. The directional expression of a landmark after alteration, construction or partial demolition shall be compatible with its original architectural style and character.
- 8) **Architectural details.** Architectural details including materials and textures shall be treated so as to make a landmark compatible with its original architectural style and character and to preserve and enhance the architectural style or character of a landmark or historic district. The Commission will give recommendations as to appropriate colors for any landmark or historic district.
- 9) **Impact on archaeological sites.** New construction shall be undertaken in such a manner as to preserve the integrity of archaeological sites and landmark sites.

# Relationship of building masses, setbacks and spaces

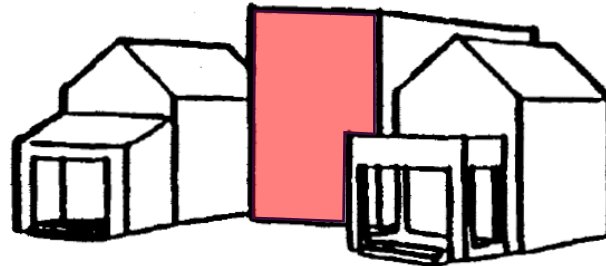
**Setback** and spacing between a new building and its historic neighbors should comply with the established spacing on the block:



A new building should respect the setback and height established by existing buildings on the same block.



**AVOID** new construction that places the building in front of or behind the existing façade line within the same block.



## Historic Preservation Section Recommendations:

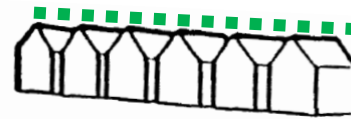
- Front yard setbacks should be within 25% of the required front yard of adjacent, contributing structures

## Criteria Satisfaction

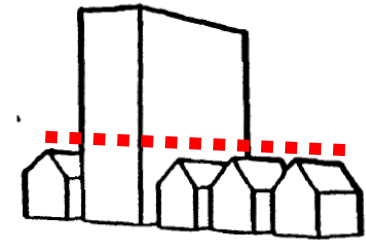
Section 307.106(m)(3) – Relationship of building masses, setbacks and spaces.

# Height, Scale, and Directional Expression

Most historic structures are *typically 1 to 2.5 stories in height*. The **directional expression** and proportions of a new building should correspond to the scale of neighboring buildings



Appropriate Height



Inappropriate Height



**Horizontal rhythms** refer to divisions between upper and lower floors, uniform porch heights, the alignment of window and window sills, and the height of the finished floor (FFE) and *should be compatible with adjacent structures along the streetscape*.



Appropriate Width

Inappropriate Width

**Widths** of new construction *should be similar to adjacent structures along the streetscape*.

## Criteria Satisfaction

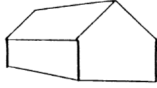

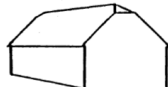
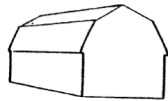
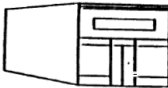
Section 307.106(m)(1) – Height.

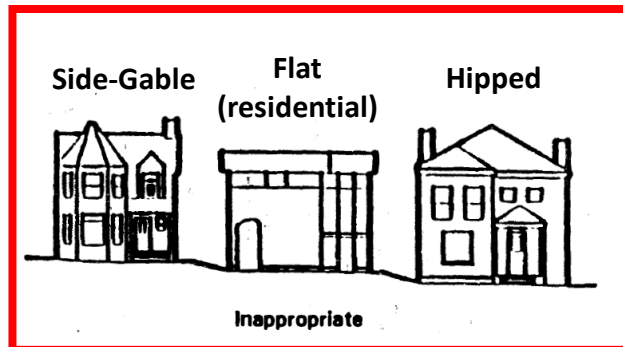
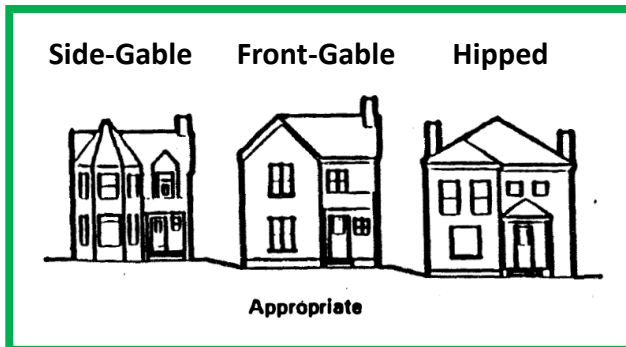
Section 307.106(m)(6) – Scale.

Section 307.106(m)(7) – Directional expression

# Roof Shape

Roof shape of a new building *should conform to the shape of roof found on neighboring buildings.*

Typical Springfield Styles	Roof Shape	Typical Riverside-Avondale Styles
Frame Vernacular, Bungalow, Colonial Revival, Queen Anne	Gable 	Frame Vernacular, Bungalow, Colonial Revival, Queen Anne
Frame Vernacular, Bungalow, Queen Anne, Prairie	Hip 	Bungalow, Colonial Revival
Bungalow, Colonial Revival	Clipped Gable 	Frame Vernacular, Bungalow, Queen Anne, Prairie
Colonial Revival	Gambrel 	Colonial Revival
Masonry Vernacular (commercial), Mediterranean (residential)	Flat (with parapet) 	Masonry Vernacular (commercial), Mediterranean (residential)



**Criteria Satisfaction**

Section 307.106(m)(4) – Roof shape.

# Proportions of Windows and Doors (Springfield)

Proportions of openings are typically narrow and vertically oriented. The proportion and spacing of openings on adjacent buildings should be maintained.



1337 Walnut St (new)

**Utilize the Springfield  
Historic District Design  
Guidelines**

**Windows and doors are  
evenly spaced**

**Minimal blank wall  
spaces**

**Windows and doors align  
with porch railing  
openings**



55 6<sup>th</sup> St W (historic)

## Historic Preservation Section Recommendations:

- Avoid blank wall spaces larger than 5 to 7 feet on any elevations
- Reference **HPS Window Supplement** for appropriate window installation and styles
- Reference **HPS Door Design Guidelines** for appropriate pedestrian and garage door designs
- Window patterns and sizes should be compatible with the architectural style of the structure and should be consistent across all elevations

## **Criteria Satisfaction**

**Section 307.106(m)(2) – Proportions of windows and doors.**

# Architectural Details (Springfield)

Materials and textures should be compatible, preserve, and enhance the architectural style or character of adjacent structures and/or the historic district.



223 4<sup>th</sup> St W (historic)

## Simple main roof forms

Gable, Hip

## Full-width, one/two-story porches

## Horizontal lap siding

(Depending on overall architectural style)

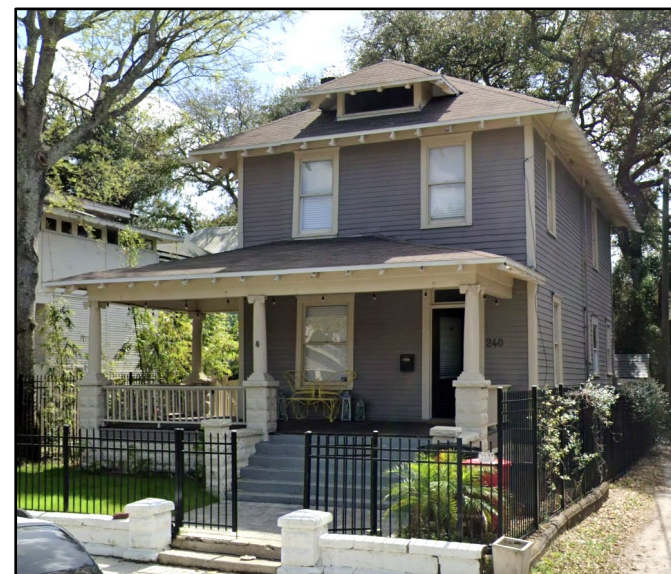
## Gable-end detailing

## Vertically oriented spindles

Centered between two horizontal railings

## On raised foundation

Piers or continuous / FFE based on nearby contributing structures



219 9<sup>th</sup> St E (historic)

## Historic Preservation Section Recommendations:

- The use of contemporary materials that are similar to historic elements such as cementitious boards/shingles may be appropriate for new construction
- Reach out to Staff about appropriate window patterns and roof styles depending on plans based on certain architectural styles
- Smooth side of Hardie-lap siding should face outwards

## Criteria Satisfaction

**Section 307.106(m)(8) – Architectural details.**

**Section 307.106(m)(9) – Impact of archaeological sites.**

# Proportions of Windows and Doors (Riverside-Avondale)

Proportions of openings are typically narrow and vertically oriented. The proportion and spacing of openings on adjacent buildings should be maintained.



2919 Oak St (historic)

**Utilize the Riverside-Avondale Historic District Design Guidelines**

**Windows and doors are evenly spaced and align with porch railing openings**

**Minimal blank wall spaces**



2043 College St (historic)

## **Historic Preservation Section Recommendations:**

- Avoid blank wall spaces larger than 5 to 7 feet on any elevations
- Reference **HPS Window Supplement** for appropriate window installation and styles
- Reference **HPS Door Design Guidelines** for appropriate pedestrian and garage door designs
- Reach out for recommendations on appropriate window patterns for certain architectural styles

## **Criteria Satisfaction**

**Section 307.106(m)(2) – Proportions of windows and doors.**

# Architectural Details (Riverside-Avondale)

Materials and textures should be compatible, preserve, and enhance the architectural style or character of adjacent structures and/or the historic district.

## Simple main roof forms

Gable, Hip, Shed and Flat (depending on architectural styles)

## Full-width, one-story porches

Two-story porches are found on some architectural styles



2142 Riverside Ave (historic)

## Vertically oriented railings

Spindles centered between two horizontal railings

## On raised foundation

Piers or continuous / FFE based on nearby contributing structures



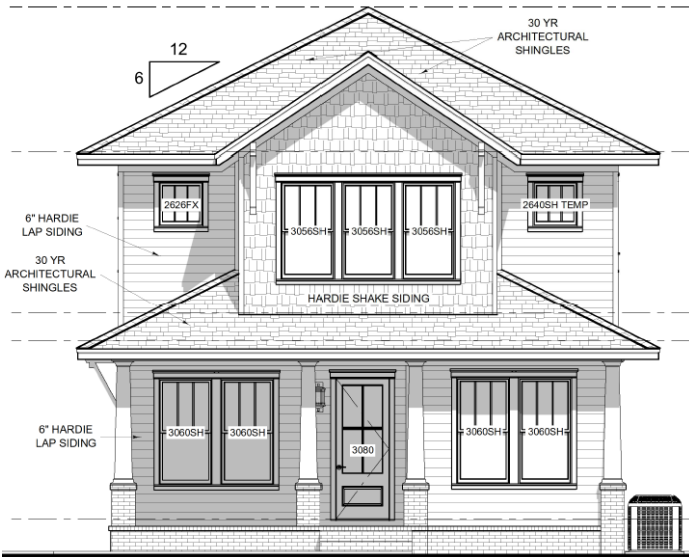
1735 Edgewood Ave (historic)

## Horizontal lap siding

Brick is also found on some styles found within the district

## Gable-end detailing

Shingles, vents, windows, etc.



2231 Gilmore St (new construction)

## Historic Preservation Section Recommendations:

- The use of contemporary materials that are similar to historic elements such as cementitious boards/shingles may be appropriate for new construction
- Reach out to Staff about appropriate window patterns and roof styles depending on plans based on certain architectural styles
- Smooth side of Hardie-lap siding should face outwards

## Criteria Satisfaction

**Section 307.106(m)(8) – Architectural details.**

**Section 307.106(m)(9) – Impact of archaeological sites.**

# Additions / Accessory Structures

Additions and accessory structures should extend upon the architectural features and massing that are found on the property and throughout the Historic District.

## Roof Form and Surfaces

New roofs and materials are based on architectural style and existing roof forms

## Scaling and Height

Does not exceed existing massing and scale characteristics



## Architectural Detailing

Incorporates existing textures and detailing found on the primary structure

## Window and Door Openings

Maintains patterns and placement throughout elevations



2304 Park St (historic)

## Historic Preservation Section Recommendations:

- Pre-application meetings with Staff are recommended for large-scale additions and accessory structure designs
- Accessory structures should incorporate the simple roof forms and designs that are found on the primary structure
- Placement of the accessory structures should be in a traditional location (rear or side of the primary structure and aligned with any existing curb cut or alleyway)

# Standard New Construction Conditions

## The following condition and sub-parts are the standard for new construction applications:

- 1) Materials, design, and height shall be consistent with the standards and conditions outlined in the New Construction Supplement:
  - a) Columns shall have caps and bases.
  - b) The fascia boards and soffits shall be composed of wood or a cementitious material (no vinyl or PVC).
  - c) The porch railing system shall be made of wood or wood composite, and the spindles shall be set in between an upper and lower railing with no exposed ends.
  - d) The front entry walkway shall be limited to the width of the front porch steps and shall be composed of brick-like pavers, poured concrete, or hexagonal pavers.
  - e) The secondary walkway shall be no wider than three (3) feet.
  - f) The front door shall have clear glass without any decorative etching or frosted glass.
  - g) If a well is required for water service, it shall be placed in the rear yard or a non-street visible location.
  - h) Horizontal lap siding shall be installed with the smooth side facing outward.

## Applications for new construction may also be subject to the following conditions:

- 1) Elevations – The proposed design shall be substantially consistent with the elevation drawings dated **Month, Day, Year**.
- 2) Site Plan – The proposed design shall be substantially consistent with the site plan dates **Month, Day, Year**.
- 3) Windows – All windows shall be installed in accordance with the latest version of the HPS Window Supplement.
- 4) Doors – All doors shall be installed in accordance with the latest version of the Door Design Guidelines.
- 5) Verification – Prior to the finalization of any building permit, the owner or their agent shall provide the following items to the Historic Preservation Section for verification of substantial compliance with the COA Final Order:
  - a) Prior to the slab inspection of any building permit, the owner or their agent shall demonstrate that the front yard setback and the finished floor height will be within twenty-five percent (25%) of the average setbacks and finished floor heights of adjacent contributing structures, **Address #1 (RE#)** and **Address #2 (RE#)**, or as otherwise approved by the Historic Preservation Section.
  - b) Prior to the final inspection of any building permit, the owner or their agent shall submit to the Historic Preservation Section an affidavit and any supplementary evidence that verifies compliance with all conditions of the COA Final Order.

\*Historic Preservation Staff may modify these conditions or recommend additional ones as appropriate.

# FAQ

**Q: Does this supplement also apply to structures that are individually landmarked and outside of a locally designated historic district?**

A: Yes, all new construction on any locally designate structures within a historic district and individually landmarked properties must follow guidelines for new construction that are consistent with the Secretary of the Interior's Standards for Rehabilitation.

**Q: What is a contributing structure?**

A: During the formation of the local historic districts, structures were either identified as contributing or non-contributing to the historic and architectural fabric of their respective district. Contributing structures are typically held to a higher standard, especially in regard to the preservation of historic materials. Some structures, mostly accessory structures, may not appear as contributing or non-contributing and are considered "unlisted." If these structures were built during the period of significance of the district or are architecturally or historically significant, they may also be treated with high scrutiny. Always reach out to Staff at [historicpreservation@coj.net](mailto:historicpreservation@coj.net) or by calling (904) 255-7800 to confirm the contributing/non-contributing status of a structure.

**Q: Where should I look for architectural inspiration?**

A: New construction should take inspiration from contributing structures within the block in particular, ensuring that the overall design, including architectural details, are compatible with the selected architectural style as well. It is important that new construction avoids conjectural or overly stylized details that inappropriately imitate historic features.

**Q: What if I want to stick with my proposed design or I have questions about my design or what may be considered compatible?**

A: Staff is available for pre-application meetings and can provide guidance regarding the design of new construction and any related alterations. Please reach out by calling (904) 255-7800 or by emailing [historicpreservation@coj.net](mailto:historicpreservation@coj.net).

**Q: What if I want to construct an addition that is not street-visible?**

A: All side (elevations) of additions are treated with the same level of review. Additions to contributing properties should be compatible in overall design with the historic structure, while maintaining a level of visual distinction that differentiates the old and the new. Additions to non-contributing properties should remain compatible with the primary structure when applicable, however they should also strive to be compatible with historic structures within their respective districts.

**Q: I see that a neighboring property has [insert feature], can my new construction?**

A: It is important to first look at the existing structures (if any) at the subject property as well as the property's history to understand the context for new construction. Then, inspiration can be drawn from contributing structures along the block when applicable. It is important to remember that new construction should be compatible with the selected architectural style and that non-historic alterations and non-contributing properties do not set a precedent.